

**Record No: ZBR-26-37**

Zoning Board of Review Application

Status: Active

Submitted On: 7/29/2026

Applicant

I hereby certify that I am the owner/authorized agent of the subject property. I further certify that I am the owner/authorized agent of the developmental rights for this property. By acknowledging this application, the Applicant(s) and Landowner(s) give permission to the City/Town staff and members of the Zoning Board of Review to access the property individually or as a group for purposes of a site inspection.

Name of Applicant*

Jenny Clement & Josh Debrossard

Who is Submitting this Application?*

Attorney

Owners Name*

Jenny Clement

Owner Authorization Affidavit* ?

20260729100507_001.pdf

PLEASE NOTE THAT IF THE OWNER OF SUBJECT PROPERTY IS AN LLC OR CORPORATION YOU WILL BE REQUIRED TO HAVE ATTORNEY REPRESENTATION.

Location for Application

Please Note - The Address and/or Plat/ lot is required to continue with this application

Property Location Type*

Physical Address

Address*

75 Gladstone

City/Town*

Cranston

Type of Application**Application Type***

Dimensional Variance

Proposed*

Other (Lot coverage, Parking, etc.)

Propose Other Detail*Pre-existing side setback, parking on
abutting lot (7-784)**Total Square Footage***

6719

Width in Feet*

50

Length in Feet*

137

Height Above Grade*

0

Number of Stories*

2

Setbacks:

Indicate the amount of Dimensional Relief being sought from the property boundaries (if none please indicate 0)

Front Yard in Feet*

0

Rear Yard in Feet*

0

Side Yard in Feet*

10

Corner Side Yard in Feet*

0

Height in Feet*

0

Provision(s) of the Zoning Ordinance (if known)

§ 17.64.010 (b) – Off-street parking, location of spaces

§ 17.20.120 – Schedule of intensity regulations.

Describe the extent of the proposed alterations and the reasons for the requesting relief*

The single family house at 75 Gladstone (7-785) has a pre-existing 0' side setback at the adjoining lot line for 0 Gladstone (7-784), where 8' is required.

The applicants are proposing a parking space on a separate lot (0 Gladstone) to serve the parking requirement for 75 Gladstone.

Existing Lot Specifications

Current Use of Premises*

Residential

Lot Area*

6719

Lot Frontage*

51.63

Lot Depth*

137

Existing Buildings & Structures

Type of Building or Structure	Square Footage
Primary Residence	—
Building /Structure Detail if Other	

Applicant Sign off

I , the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY knowledge complete and correct in every detail.

Digital Signature*

✓ Andrew Cormier
Jul 28, 2026

**Record No: ZBR-26-27****Zoning Board of Review Application**

Status: Active

Submitted On: 6/2/2026

Applicant

I hereby certify that I am the owner/authorized agent of the subject property. I further certify that I am the owner/authorized agent of the developmental rights for this property. By acknowledging this application, the Applicant(s) and Landowner(s) give permission to the City/Town staff and members of the Zoning Board of Review to access the property individually or as a group for purposes of a site inspection.

Name of Applicant*

Joshua DeBrossard

Who is Submitting this Application?*

Contractor

Owners Name*

Jenny Rojas

Owner Authorization Affidavit* ?Owner Authorization Affidavit.
pdf

PLEASE NOTE THAT IF THE OWNER OF SUBJECT PROPERTY IS AN LLC OR CORPORATION YOU WILL BE REQUIRED TO HAVE ATTORNEY REPRESENTATION.

Location for Application

Please Note - The Address and/or Plat/ lot is required to continue with this application

Property Location Type*

Both

Address*

Gladstone St

City/Town*

Cranston

Plat*

7-1

Lot(s)* ?

874-0

Type of Application

Application Type*

Dimensional Variance

Proposed*

New Building

New Building Type*

Two Family Dwelling

Total Square Footage*

2304

Width in Feet*

24

Length in Feet*

48

Height Above Grade*

35

Number of Stories*

2

Setbacks:

Indicate the amount of Dimensional Relief being sought from the property boundaries (if none please indicate 0)

Front Yard in Feet*

25

Rear Yard in Feet*

20

Side Yard in Feet*

8

Corner Side Yard in Feet*

8

Height in Feet*

32

Provision(s) of the Zoning Ordinance (if known)**Describe the extent of the proposed alterations and the reasons for the requesting relief***

The actual lot size size is 7173 sq ft and minimum required is 8000 sq ft.
Required Lot width and Frontage is 60 Ft. min and what's available is 50 ft. We
would like the variance to approve the slight change.

Existing Lot Specifications

Current Use of Premises*

Residential

Lot Area*

7173

Lot Frontage*

0

Lot Depth*

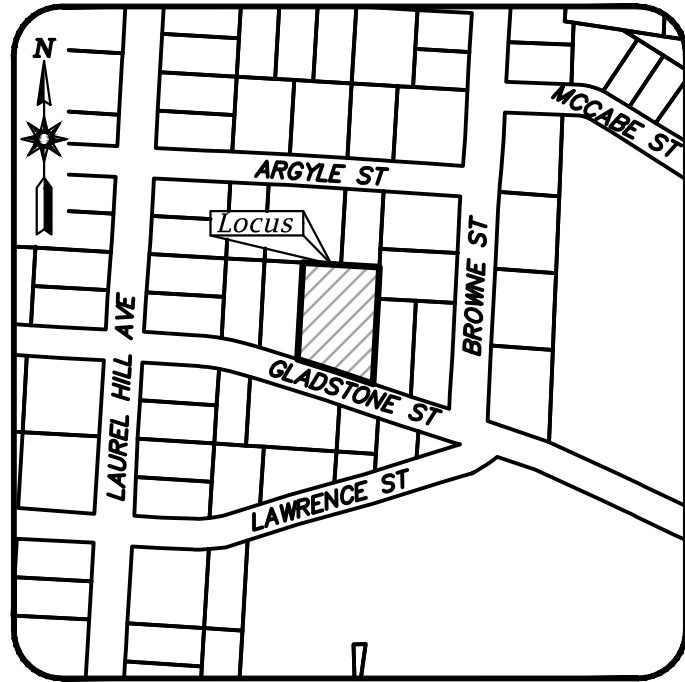
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Applicant Sign off

I , the UNDERSIGNED, swear that all information provided in this APPLICATION is to
the best of MY knowledge complete and correct in every detail.

Digital Signature*

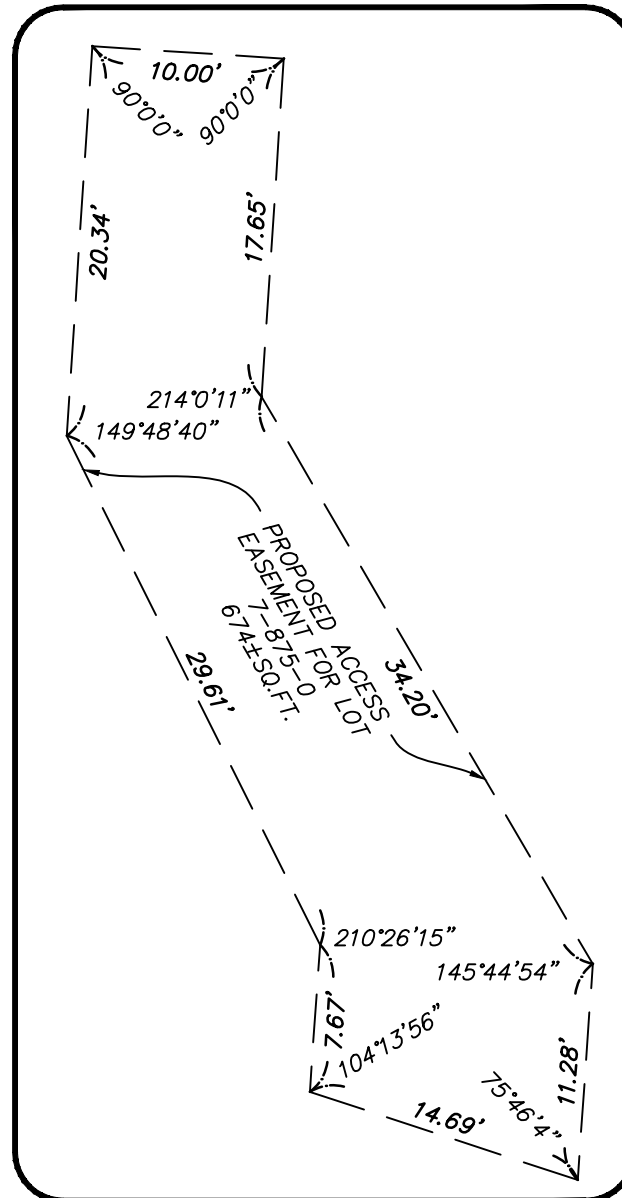
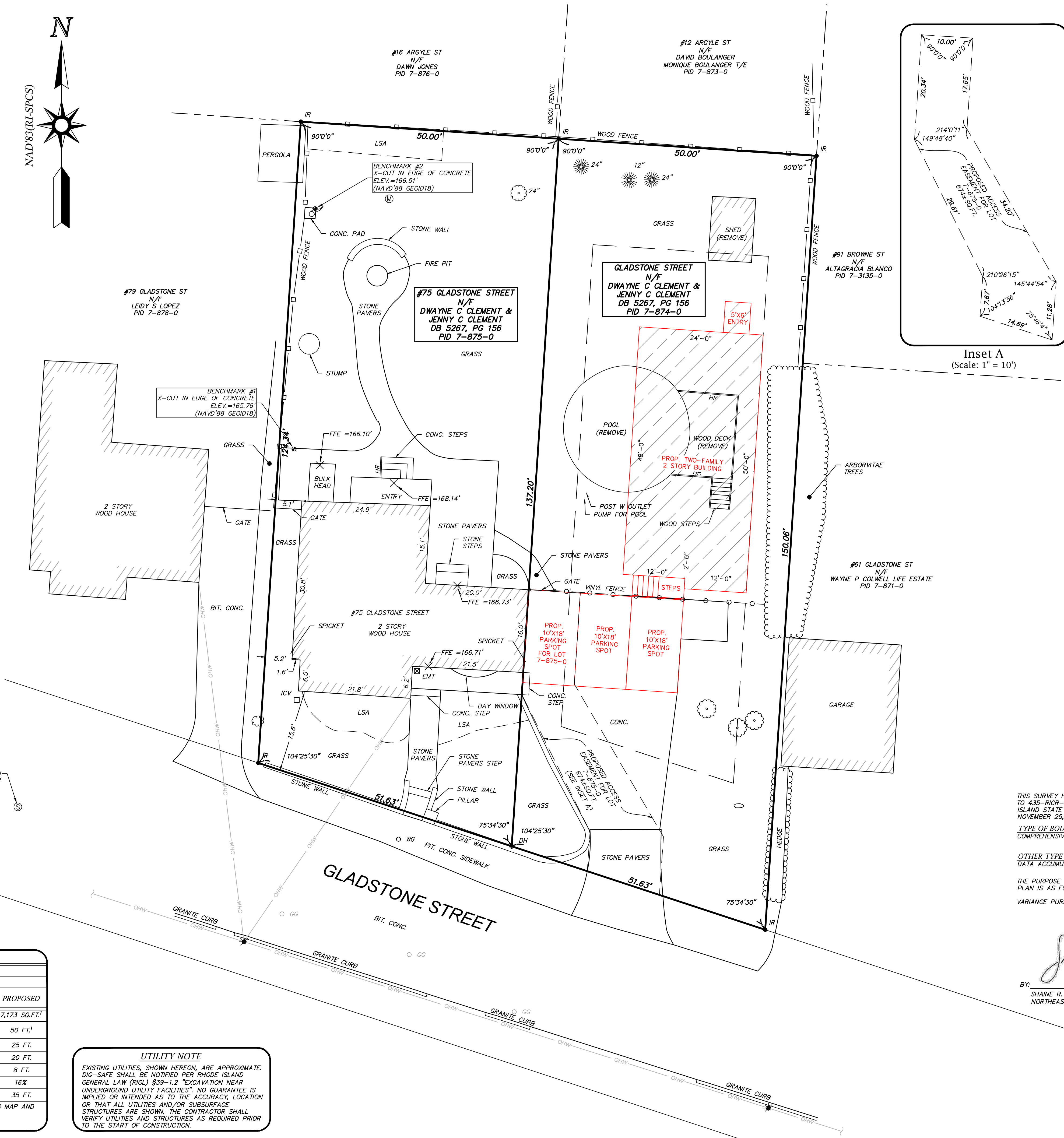
✓ Joshua R DeBrossard
May 29, 2026



Locus Map
(Scale: 1" = 250')



LEGEND	
■	BOUND
●	DRILL HOLE
EM ☒	ELECTRIC METER
GG ○	GAS GATE
GSO ○	GAS SHUTOFF
○	IRON PIPE
●	IRON ROD
●	NAIL
⊙	SEWER MANHOLE
⊙	UTILITY POLE
⊙	UTILITY POLE W/LIGHT
⊙	UTILITY POLE W/TRANS.
WG ○	WATER GATE
WSO ○	WATER SHUTOFF
×10.00'	SPOT ELEVATION
(C)	CALCULATED
(R)	RECORD
BIT.	BITUMINOUS
CB	CONCRETE BOUND
CONC.	CONCRETE
DH	DRILL HOLE
FFE	FINISHED FLOOR ELEVATION
IP	IRON PIPE
IR	IRON ROD
LSA	LANDSCAPED AREA
MAG	MAGNETIC NAIL
SB	STONE BOUND
— OHW —	OVERHEAD WIRE
— X —	POST AND RAIL FENCE
— ○ —	CHAINLINK FENCE
— □ —	VINYL FENCE
— —	WOOD FENCE
— —	WROUGHT IRON FENCE
— —	SHRUB
☼	CONIFEROUS TREE
☼	DECIDUOUS TREE



Inset A
(Scale: 1" = 10')

LEGEND	
EM ☒	ELECTRIC METER
GG ○	GAS GATE
⊙	SEWER MANHOLE
⊙	UTILITY POLE W/LIGHT
WG ○	WATER GATE
BIT.	BITUMINOUS
CONC.	CONCRETE
FFE	FINISHED FLOOR ELEVATION
HR	HANDRAIL
LSA	LANDSCAPED AREA
— OHW —	OVERHEAD WIRE
— ○ —	VINYL FENCE
— □ —	WOOD FENCE
— —	SHRUB
☼	CONIFEROUS TREE
☼	DECIDUOUS TREE

- GENERAL NOTES**
- THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY NORTHEAST GEOSPATIAL CONSULTANTS, LLC IN AUGUST 2025.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT SITE PLANIMETRIC FEATURES, FIXED STRUCTURES, AND RECORD BOUNDARY LINES, AS SURVEYED FOR VARIANCE PURPOSES.
 - HORIZONTAL DATUM IS BASED UPON NAD'83(RHODE ISLAND) AS DERIVED VIA STATIC GNSS OBSERVATIONS PERFORMED BY NORTHEAST GEOSPATIAL CONSULTANTS, LLC. IN AUGUST 2025.
 - VERTICAL DATUM IS BASED UPON NAVD'88(GEOD18) AS DERIVED VIA STATIC GNSS OBSERVATIONS PERFORMED BY NORTHEAST GEOSPATIAL CONSULTANTS, LLC. IN AUGUST, 2024.TEMPORARY BENCHMARKS WERE SET NEAR THE SITE AND ARE GRAPHICALLY DEPICTED ON THE PLAN.
 - THE STATUS OF STREETS AND WAYS NOTED IS BASED UPON RECORDS REFERENCED AND WAS NOT DETERMINED AS PART OF THIS SURVEY.
 - THIS SURVEY WAS PERFORMED WITHOUT A TITLE EXAMINATION. MATTERS SHOWN RELATE TO RECORD AND OCCUPATION BOUNDARIES AND DO NOT REPRESENT ANY OPINION REGARDING TITLE OR MATTERS THAT MAY BE UNCOVERED BY A FULL TITLE EXAMINATION.
 - LOCUS IS LOCATED WITHIN ZONE X - UNSHADED AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 44007C0312H, WITH AN EFFECTIVE DATE OF OCTOBER 2, 2015.

UTILITY NOTE

EXISTING UTILITIES, SHOWN HEREON, ARE APPROXIMATE. DIG-SAFE SHALL BE NOTIFIED PER RHODE ISLAND GENERAL LAW (RIGL) §39-1.2 "EXCAVATION NEAR UNDERGROUND UTILITY FACILITIES". NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

PARCEL REFERENCE	
RECORD OWNER:	DWAYNE C CLEMENT JENNY C CLEMENT T/E
ADDRESS:	#75 GLADSTONE ST & GLADSTONE ST
DEED REFERENCE:	DB 5267, PG 156
PLAT REFERENCE:	PLAT CARD NO. 63
PARCEL IDS:	7-875-0 & 7-874-0
LOT AREA:	13,892±SQ.FT.(0.32±AC.) (BOTH LOTS)

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 4.35-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

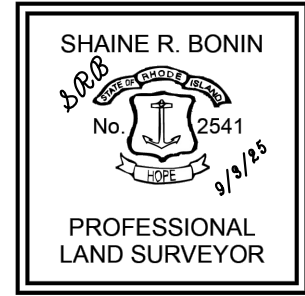
TYPE OF BOUNDARY SURVEY: MEASUREMENT/ ACCURACY SPECIFICATION:
COMPREHENSIVE BOUNDARY SURVEY CLASS I

OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

VARIANCE PURPOSES

BY: *Shane Bonin* 2541 9/3/2025
SHAYNE R. BONIN, PLS REG. NO. DATE
NORTHEAST GEOSPATIAL CONSULTANTS, LLC (COA NO. 781)



ZONING TABLE (TWO-FAMILY)		
ZONING DISTRICT:	RESIDENTIAL B-1	
LOT:		
DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA(MIN.):	8,000 SQ.FT.(TWO FAMILY)	7,173 SQ.FT.
LOT WIDTH AND FRONTAGE:	60 FT.(MIN.)	50 FT.
FRONT SETBACK:	25 FT.(MIN.)	25 FT.
REAR SETBACK:	20 FT.(MIN.)	20 FT.
SIDE SETBACK:	8 FT.(MIN.)	8 FT.
LOT COVERAGE:	35%(MAX.)	16%
BUILDING HEIGHT:	35 FT.(MAX.)	35 FT.
INFORMATION TAKEN FROM CITY OF CRANSTON GIS ZONING MAP AND TITLE 17 OF THE MUNICIPAL ZONING CODE.		
* REQUIRES ZONING RELIEF		

UTILITY NOTE

EXISTING UTILITIES, SHOWN HEREON, ARE APPROXIMATE. DIG-SAFE SHALL BE NOTIFIED PER RHODE ISLAND GENERAL LAW (RIGL) §39-1.2 "EXCAVATION NEAR UNDERGROUND UTILITY FACILITIES". NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

SITE PLAN

75 GLADSTONE STREET
IN
CRANSTON
RHODE ISLAND
(PROVIDENCE COUNTY)

SEPTEMBER 3, 2025

PRELIMINARY PLAN

Applicant:
JOSH DEBROSSARD & JENNY C CLEMENT
75 GLADSTONE STREET
CRANSTON, RI 02920

NORTHEAST GEOSPATIAL
CONSULTANTS

LAND SURVEYING | REMOTE SENSING
278 Shawshen Avenue, Wilmington, MA 01887
617.453.8234
www.northeastgeospatial.com

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Graphic Scale:
0 5 10 20 30
Scale in Feet
1" = 10'

Project No.: 15164.00
File Name: 1516400SPL
Prepared By: D. Benson, J. Tran, S. Bonin
Checked By: S. Bonin
Approved By: S. Bonin

DOOR SCHEDULE		
NO.	ROUGH OPENING	TYPE
①	3'-2 1/2" x 6'-10 1/2"	3'-0"x6'-8" STEEL EXTERIOR
②	2'-8 1/2" x 6'-10 1/2"	2'-6"x6'-8" WOOD INTERIOR
③	2'-6 1/2" x 6'-10 1/2"	2'-4"x6'-8" WOOD INTERIOR
④	2'-2 1/2" x 6'-10 1/2"	2'-0"x6'-8" WOOD INTERIOR
⑤	3'-2 1/2" x 6'-10 1/2"	3'-0"x6'-8" STEEL EXTERIOR 60 min. FIRE RATED WITH SELF CLOSING HARDWARE
⑥	5'-2 1/2" x 6'-10 1/2"	5'-0"x6'-8" WOOD SLIDER

NOTES:
1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.
2. WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS
3. MIN. DESIGN PRESSURE REQUIRED FOR DOOR GLAZING 20 PSF

WINDOW SCHEDULE					
NO.	ROUGH OPENING	DESIGNATION	TYPE	NET AREA	DP
W1	3'- 2" x 4'-9 1/2"	3046	DOUBLEHUNG	5.82 SF	30
W2	6'- 2 1/4" x 4'-9 1/2"	3046-2	DOUBLEHUNG	5.82 SF (EA)	30
W3	2'- 10" x 3'-1 1/2"	28210	DOUBLEHUNG	2.95 SF	30
W4	2'-10 1/4" x 3'-5 1/2"	2832	DOUBLEHUNG	3.37 SF	30
W5	2'-8 1/8" x 1'-3 3/8"	2813	CASEMENT		30

USE DOUBLE PANE WINDOWS

NOTES:
1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.
2. HEADER HEIGHTS TO BE 6'-10" TO BOTTOM UNLESS OTHERWISE NOTED.
3. SILL HEIGHT FROM FINISH FLOOR MIN. 24", AND MAXIMUM 44" FROM FINISH FLOOR
4. MIN. DESIGN PRESSURE REQUIRED: 20 PSF; DESIGN PRESSURE PROVIDED: 30 PSF
5. SAFETY GLAZING SHALL BE LABELED AND CONFORM TO AAMA/WDMA/CSA 1011.S.2/A440

INSULATION :
WALL R-30 (MIN)
FLOOR R-30 (MIN)
ROOF R-49 (MIN)
WINDOW U-VALUE: 0.25 (MAX)
DOOR U-VALUE: 0.28 (MAX)

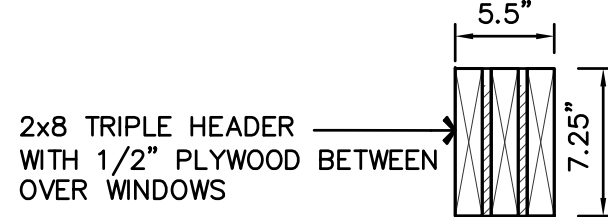
ALL WORK SHALL COMPLY WITH 2024 IECC
Residential buildings under 5,000 sf shall be
required to meet 10 credits from not less than
2 different categories specified in Table R408.2.

- ⑤ SMOKE & CO DETECTORS HARD WIRED
⑤ SMOKE DETECTORS HARD WIRED
⑤ HEAT DETECTOR
⑤ EXHAUST FAN (VENTED OUTSIDE)

ALL EXTERIOR WALLS SHALL BE 2x6 FRAMING @ 16" O.C.
ALL INTERIOR WALLS SHALL BE 2x4 FRAMING @ 16" O.C.

FRAMING LUMBER SHALL BE DOUGLAS-FIR #2 OR BETTER

HEADERS
2x8 TRIPLE HEADER W/ 1/2" PLYWOOD OVER WINDOWS

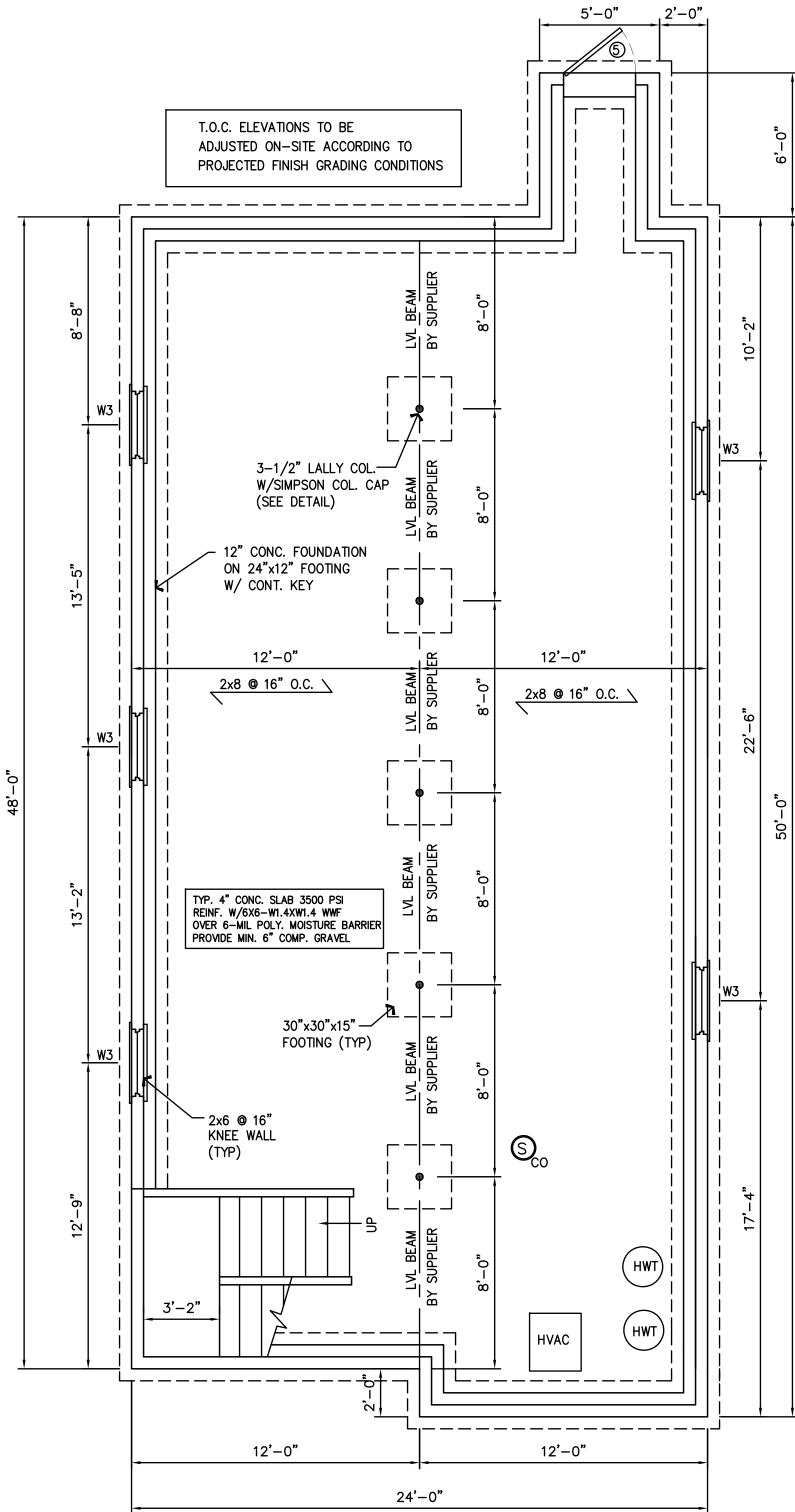


- DESIGN CRITERIA
1. RI ONE & TWO FAMILY DWELLING SBC-2021
2. WIND ZONE 1 (100 MPH)
3. LOAD DESIGN: 40 PSF LIVING AREA LOAD
30 PSF SLEEPING AREA LOAD
15 PSF DEAD LOAD
20 PSF ATTIC LOAD
60 PSF EXTERIOR DECK LOAD
30 PSF SNOW LOAD
4. FROST DEPTH 3'-6" DEEP
5. CLIMATE ZONE: 5
6. CONSTRUCTION TYPE: 5B

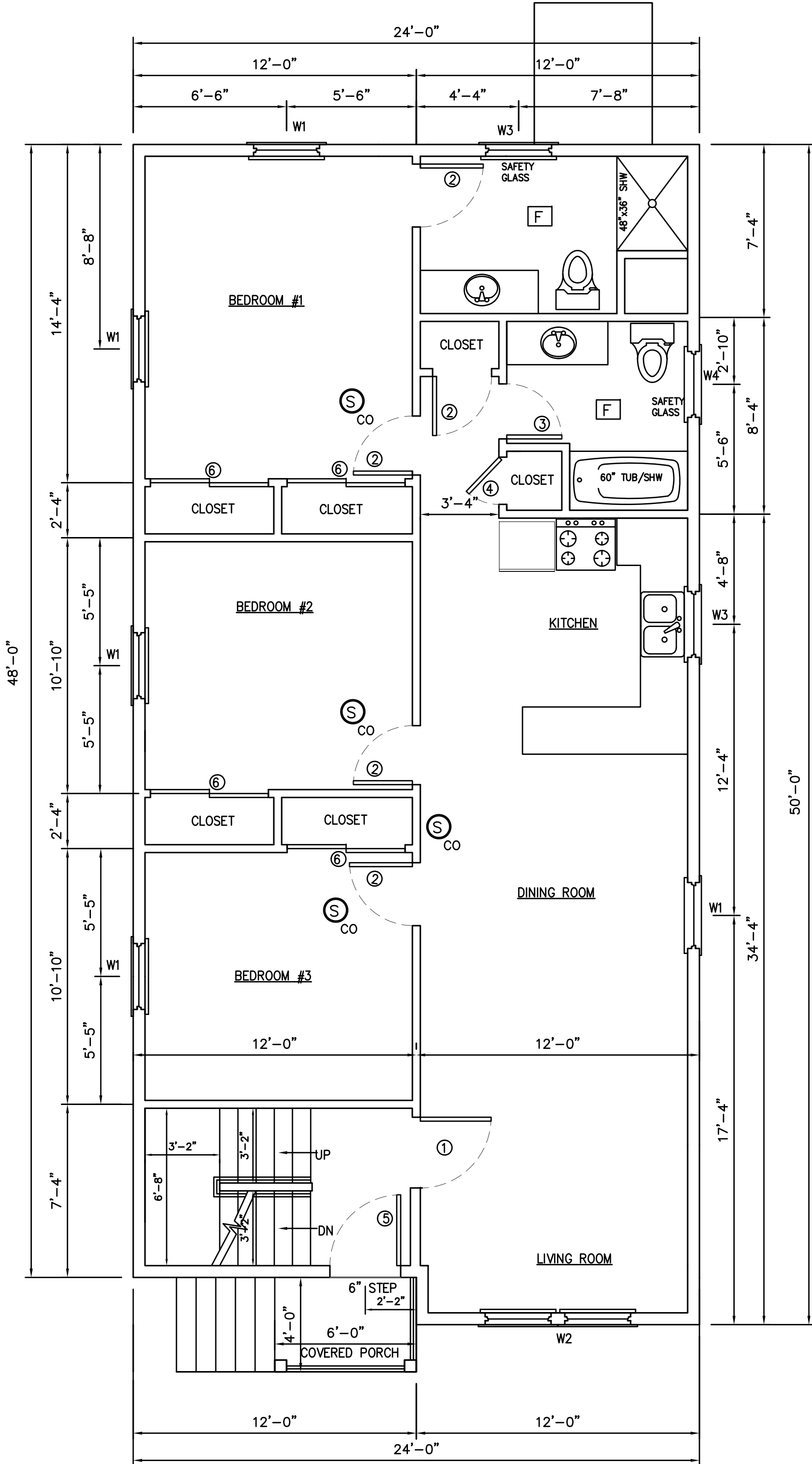
ALL WALLS & CEILING BETWEEN
STAIRS & LIVING SPACE SHALL HAVE
5/8" FIRE CODE TYPE "X" GYP. BRD.

ALL WALLS & CEILING BETWEEN
FIRST FLOOR & SECOND FLOOR UNIT
5/8" FIRE CODE TYPE "X" GYP. BRD.

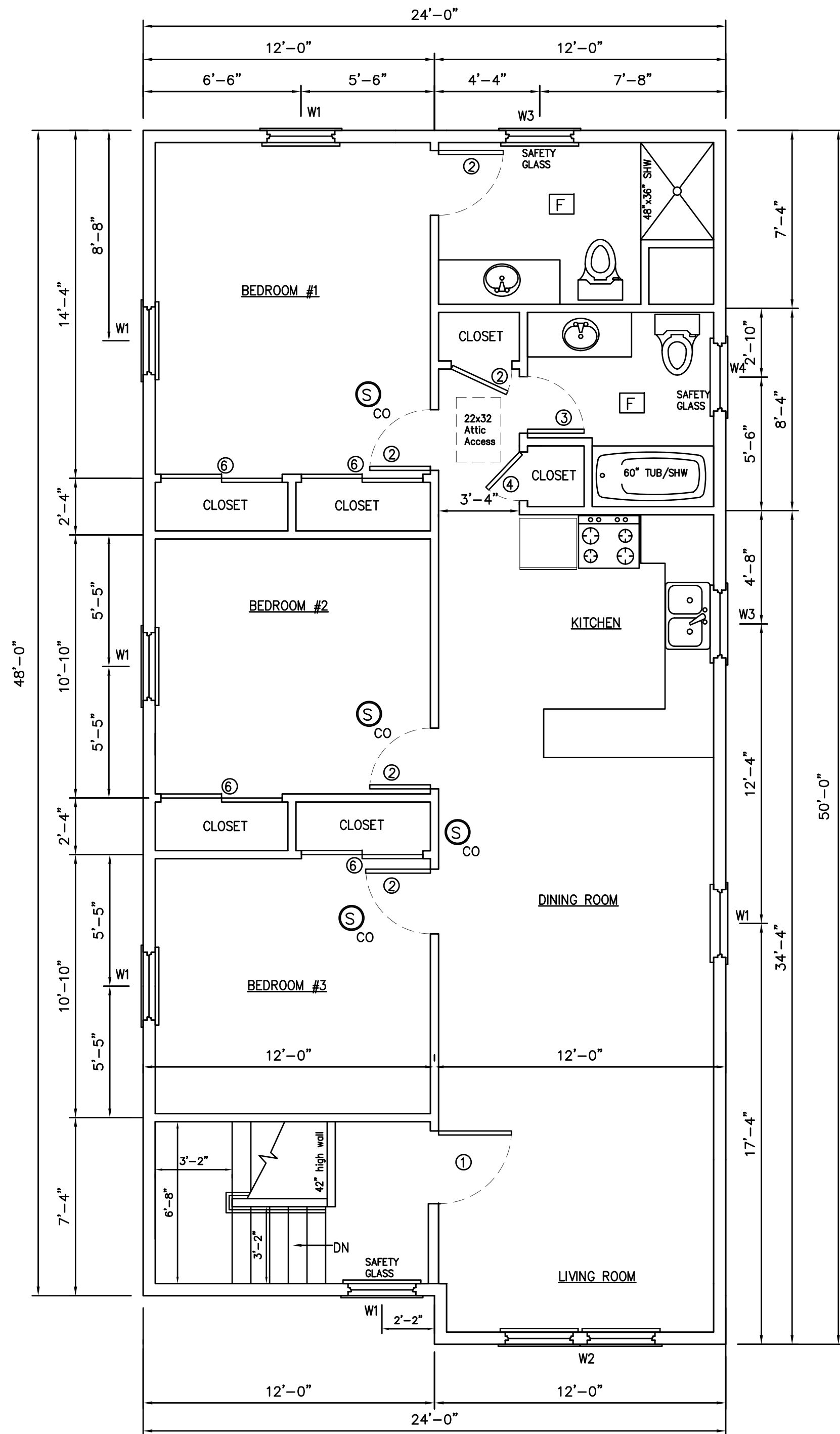
UL 501: FLOOR/CEILING ASSEMBLY WOOD FRAMED
UL 305: LOAD BEARING WOOD FRAMED WALL



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

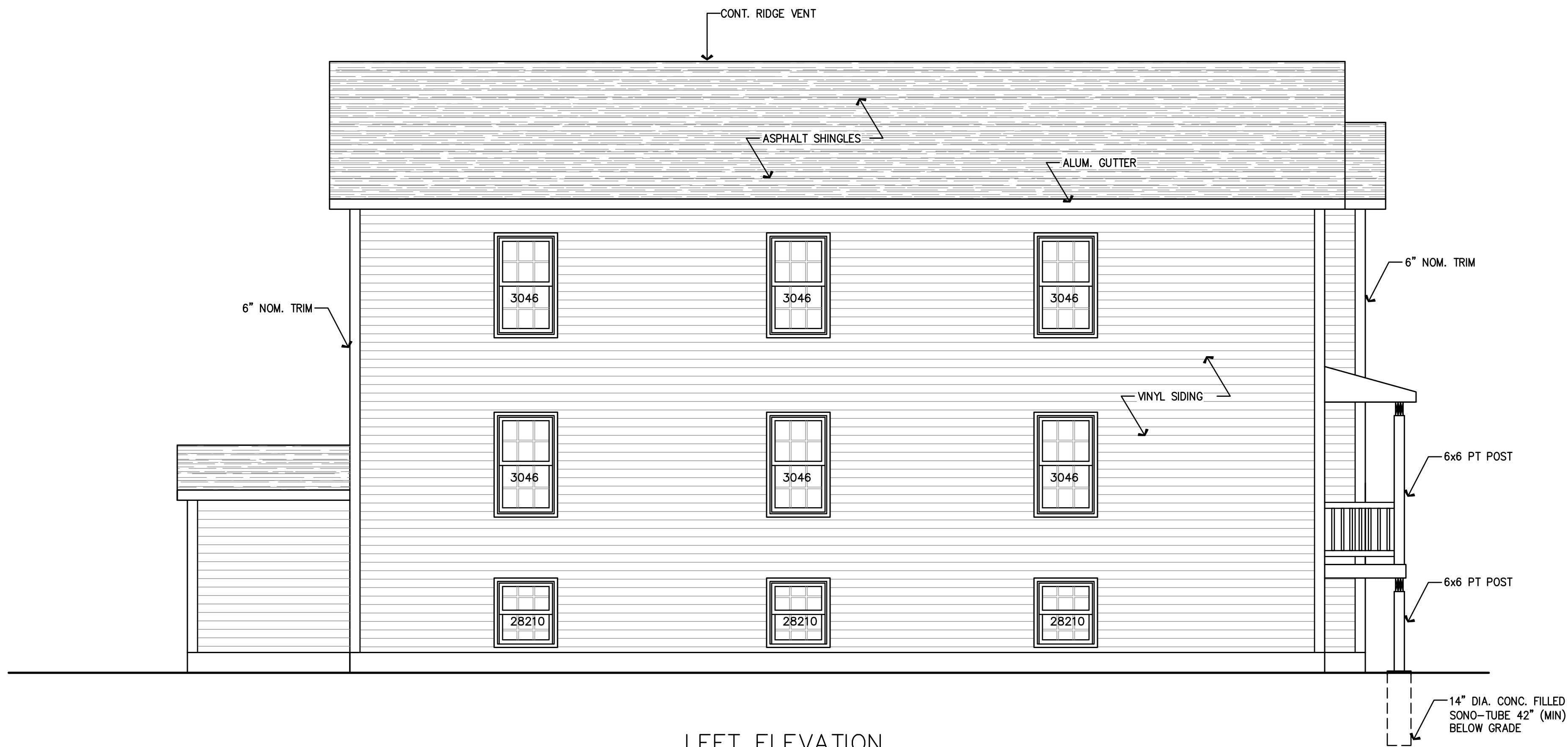
REVISIONS		
NO.	DATE	BY

SHEET DESCRIPTION
PROPOSED 2-FAMILY
75 GLADSTONE STREET
CRANSTON, RI

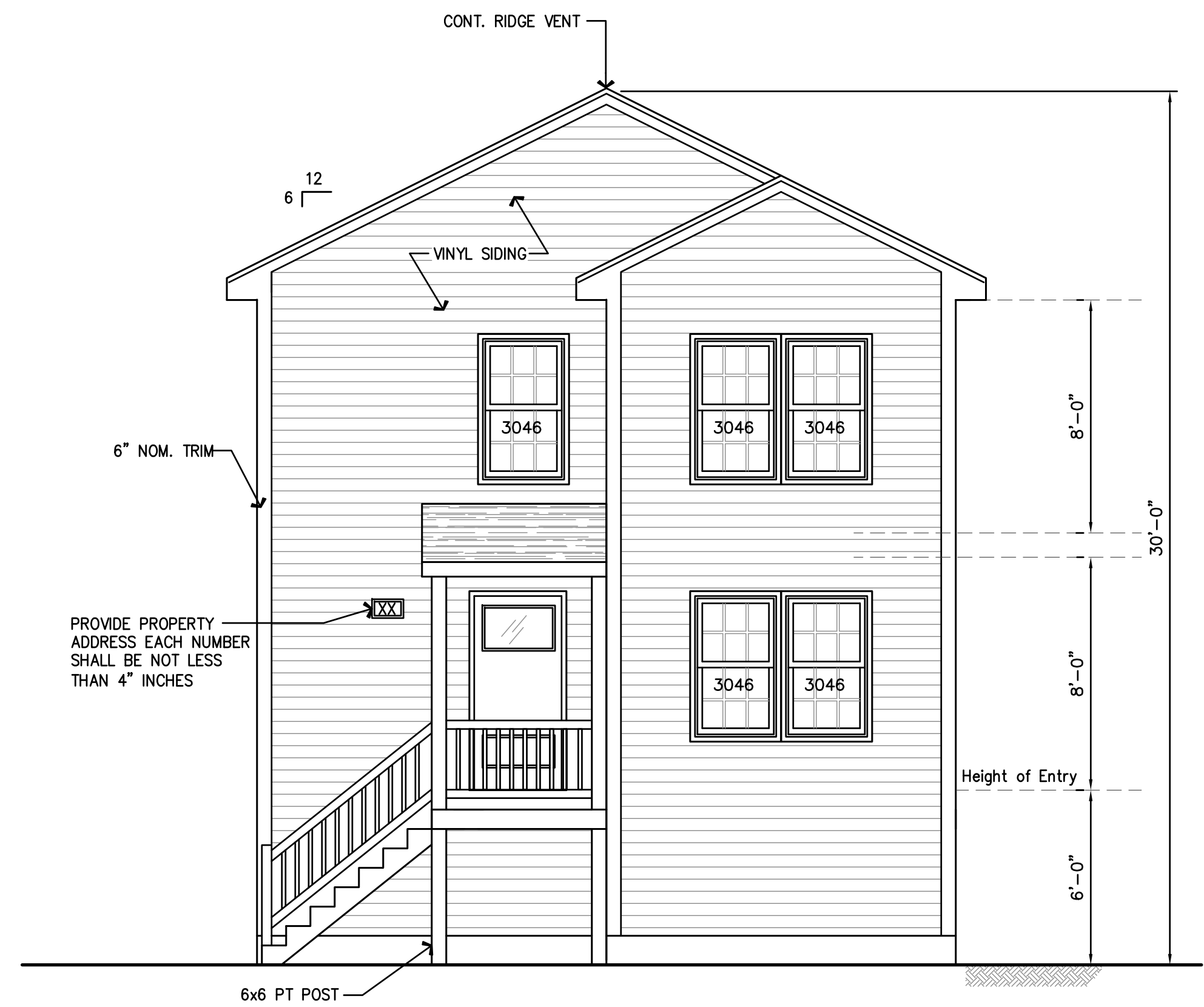
PREPARED FOR :
JOSH DEBOSSARD &
JENNY C CLEMENT
75 GLADSTONE STREET
CRANSTON, RI

DATE: MAY 2026
SCALE: AS SHOWN
DWG BY: RM
CHK BY: MH
JOB NO.
SHEET NO.

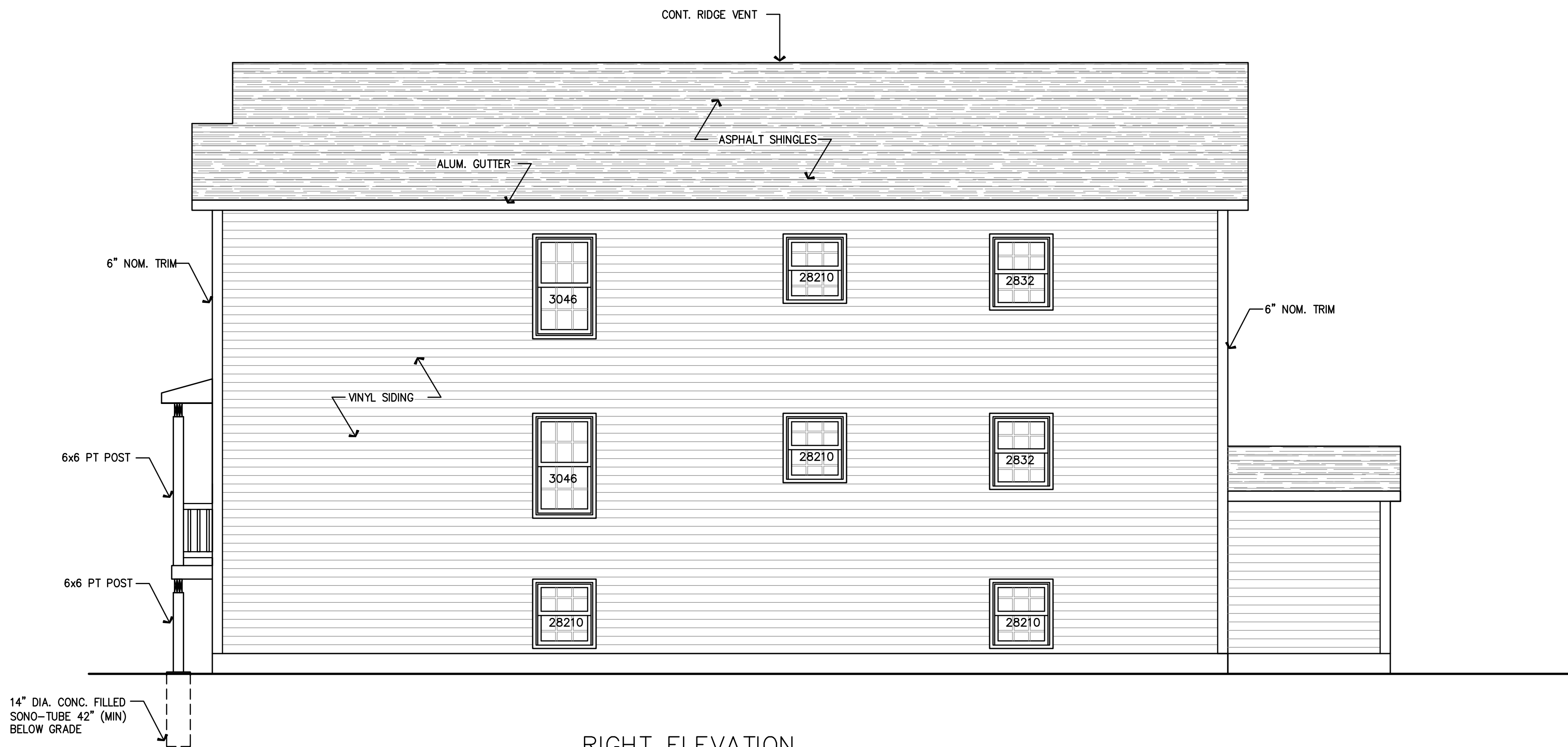
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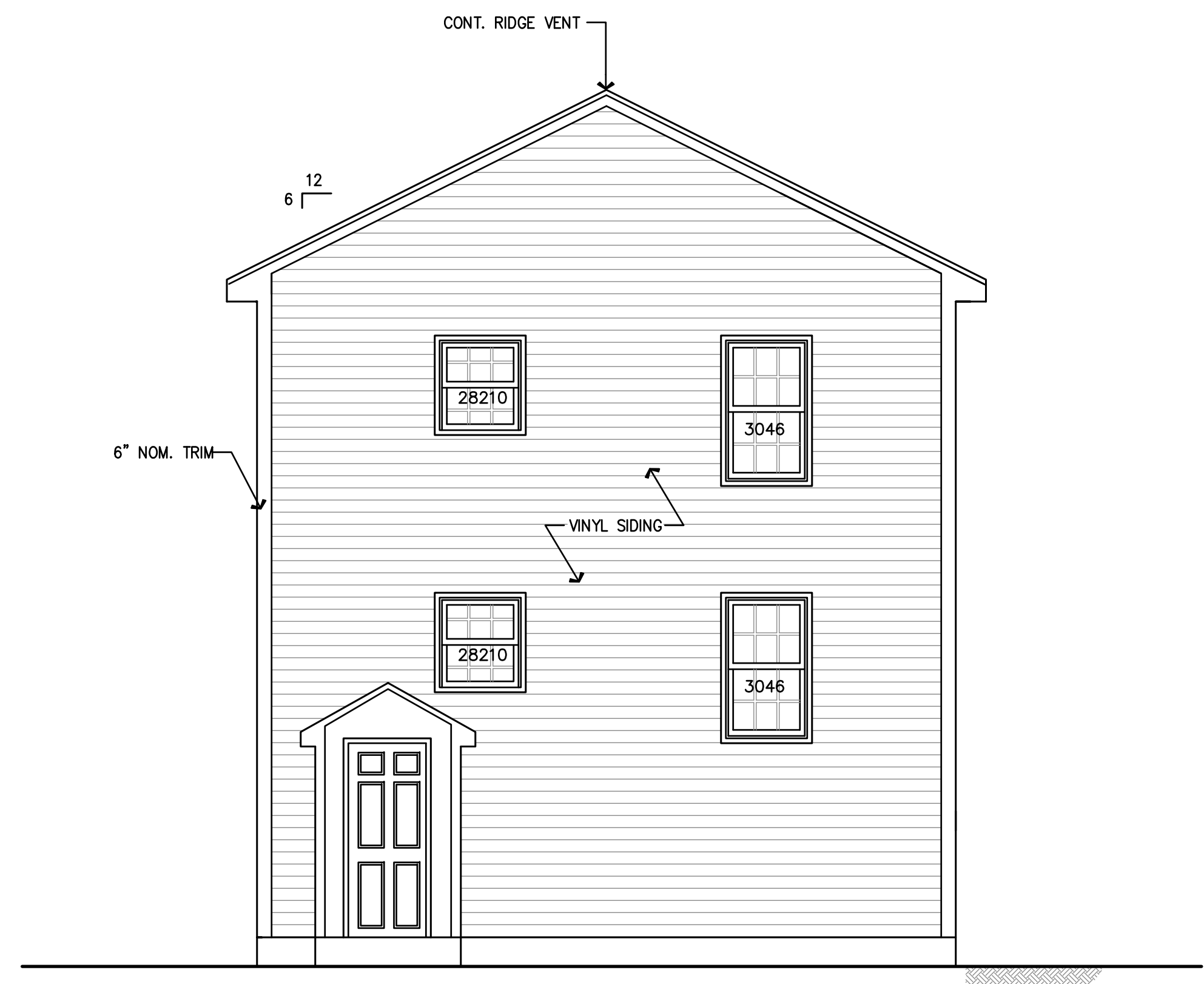
LEFT ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



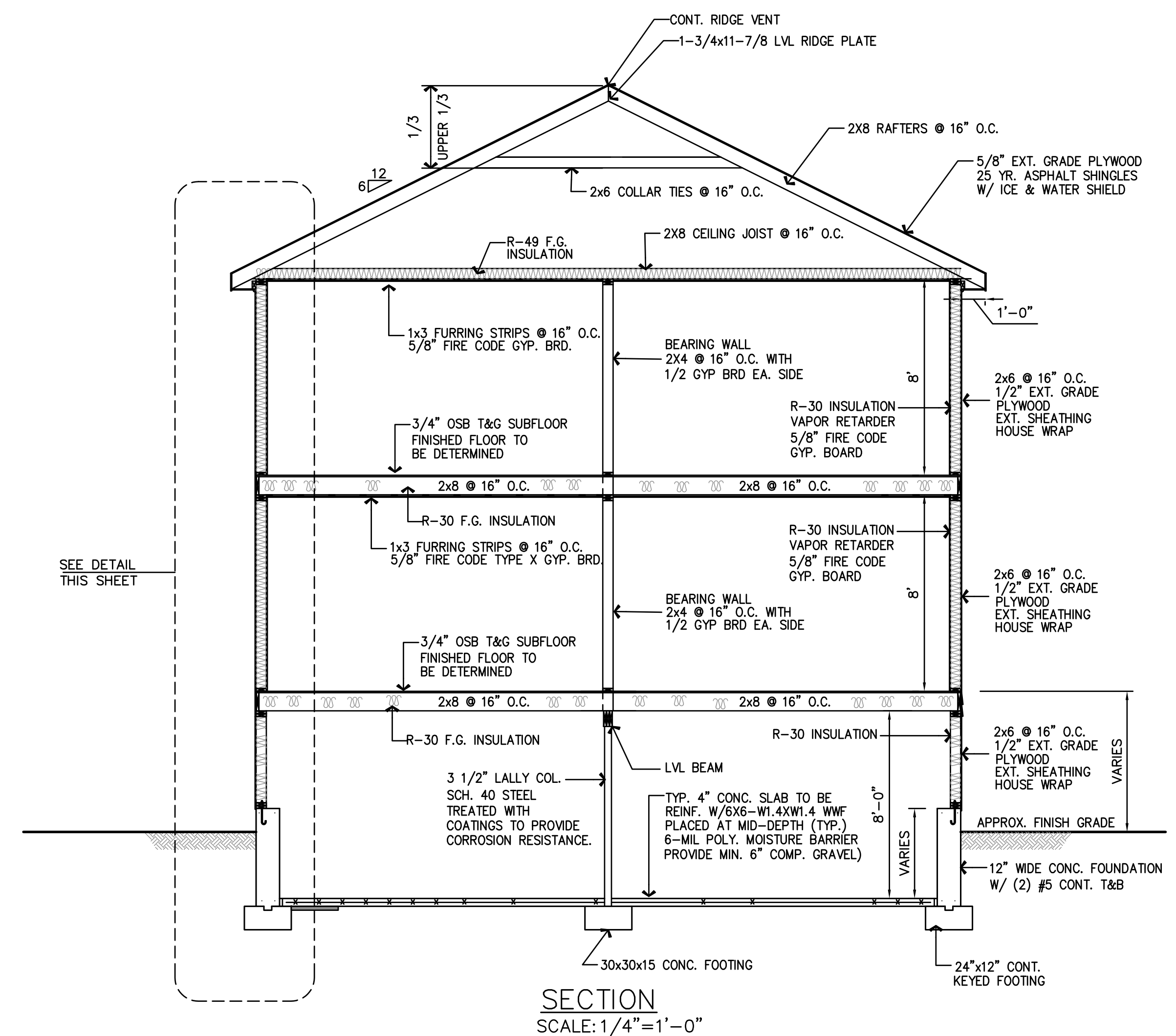
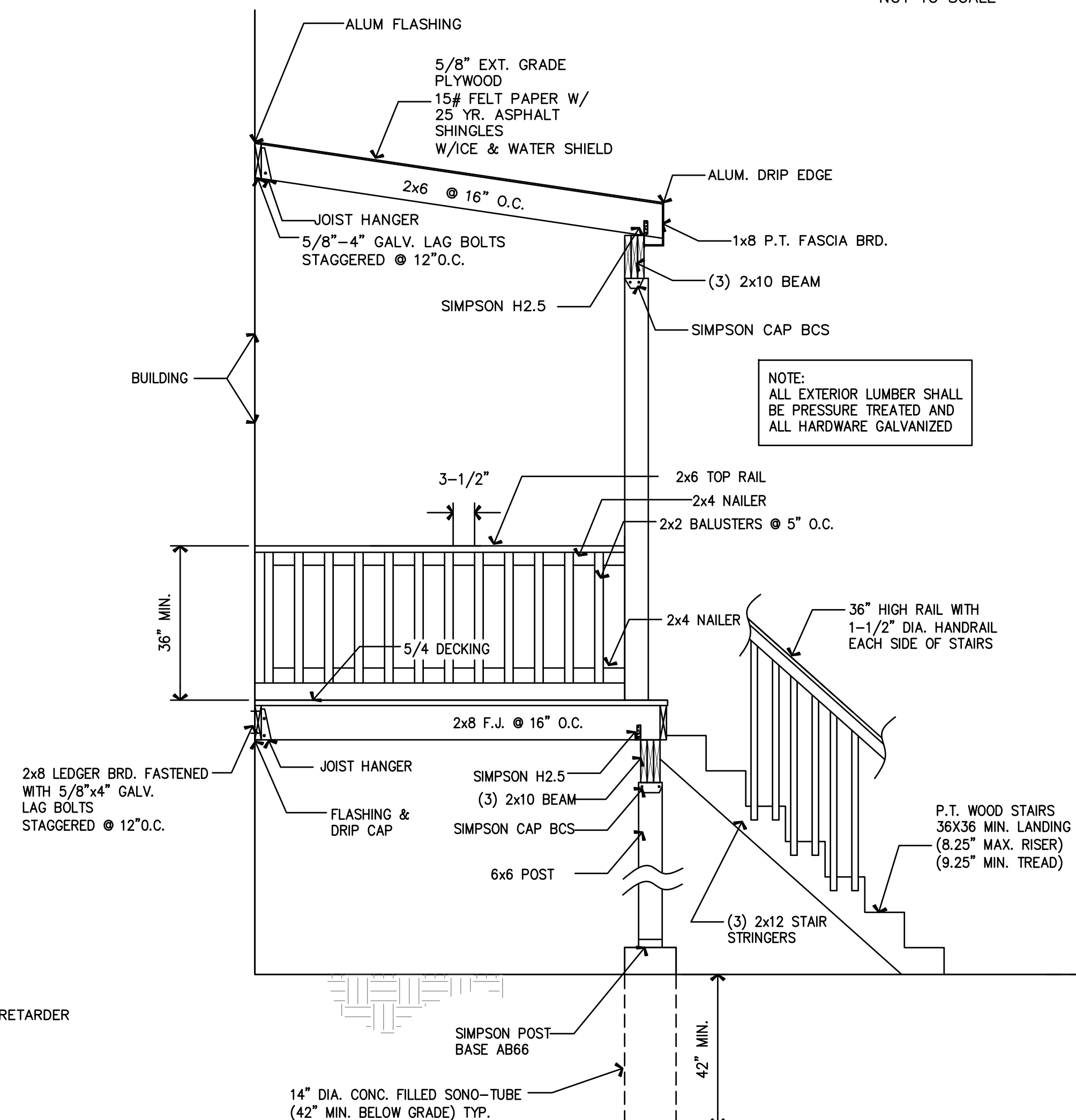
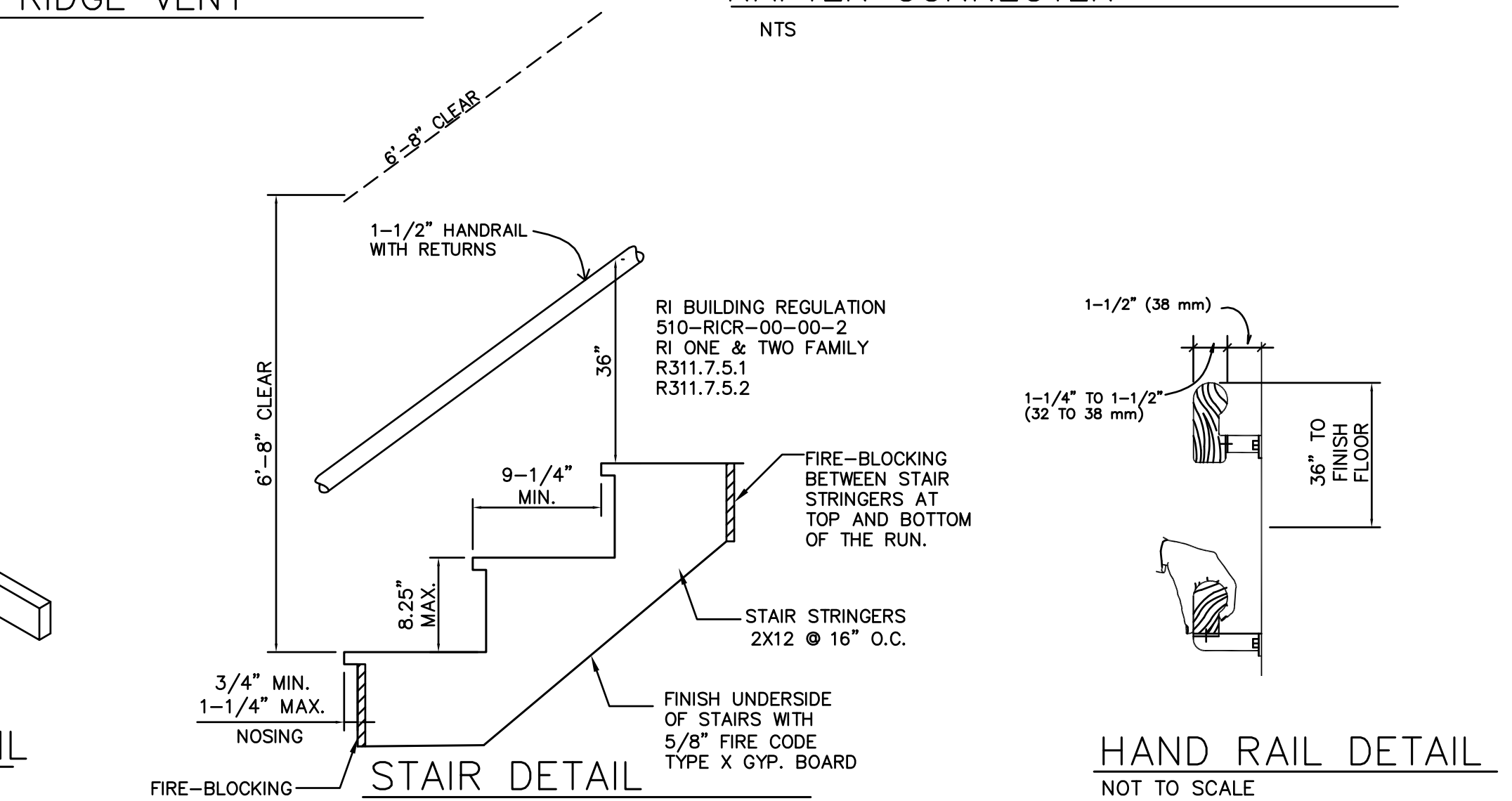
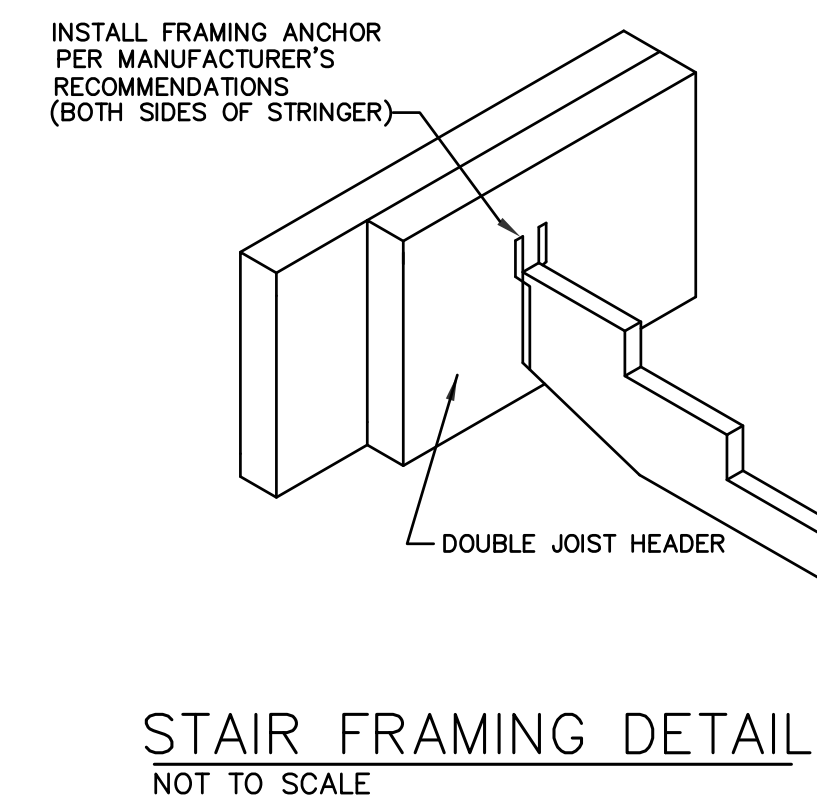
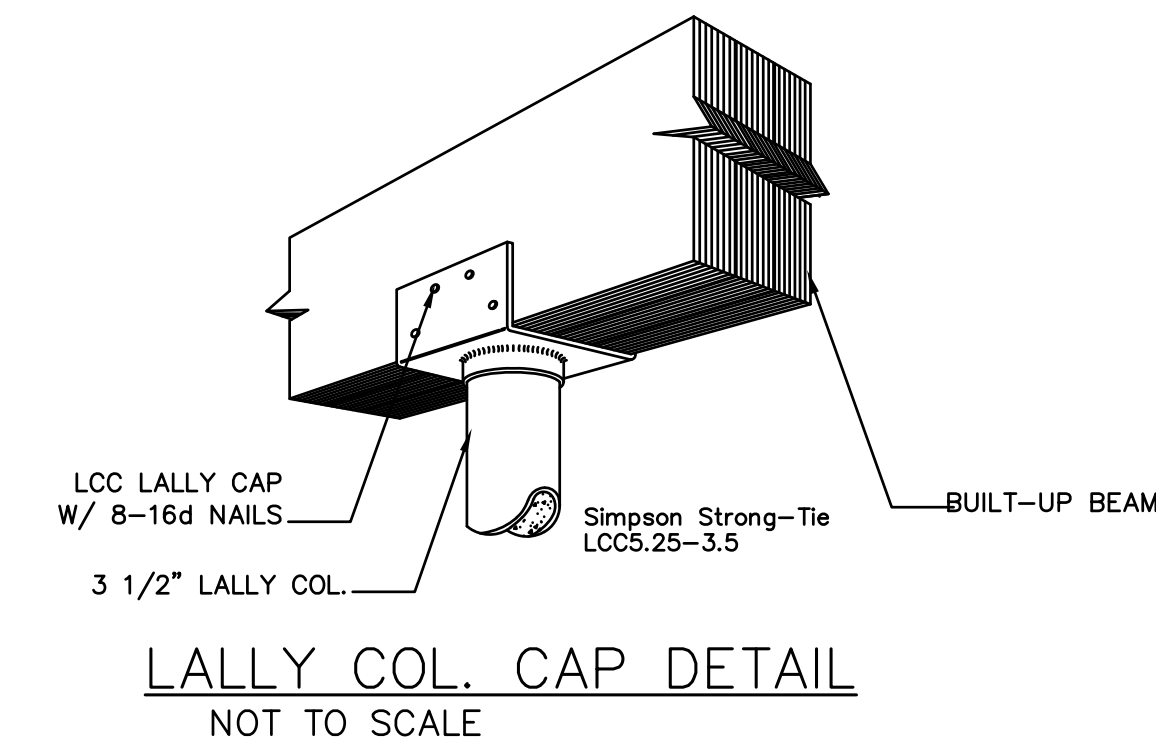
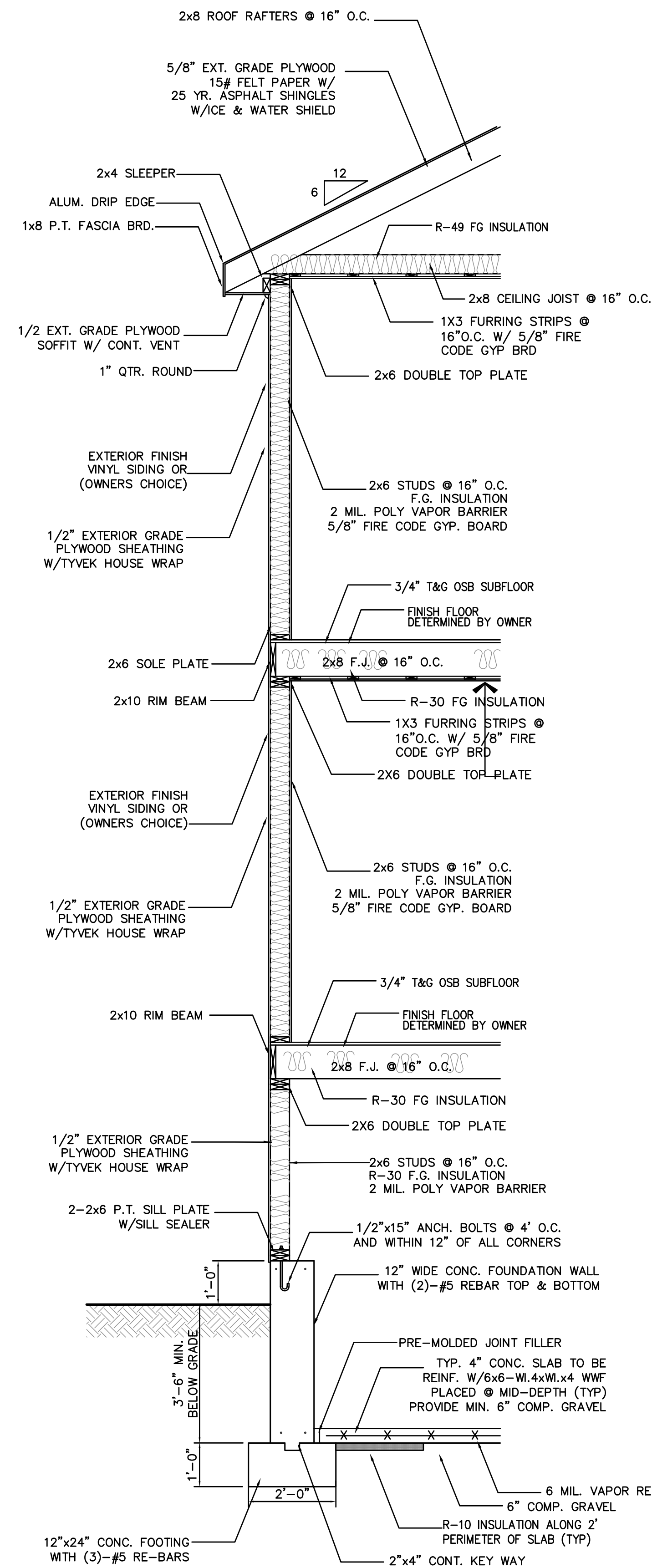
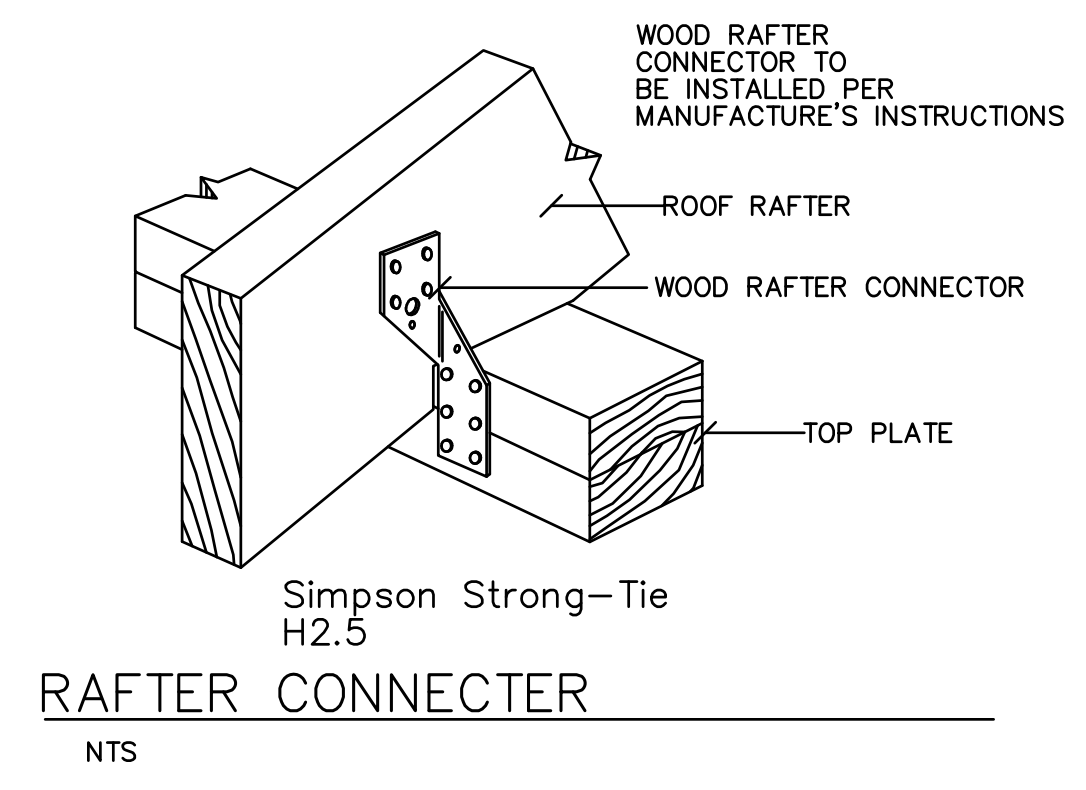
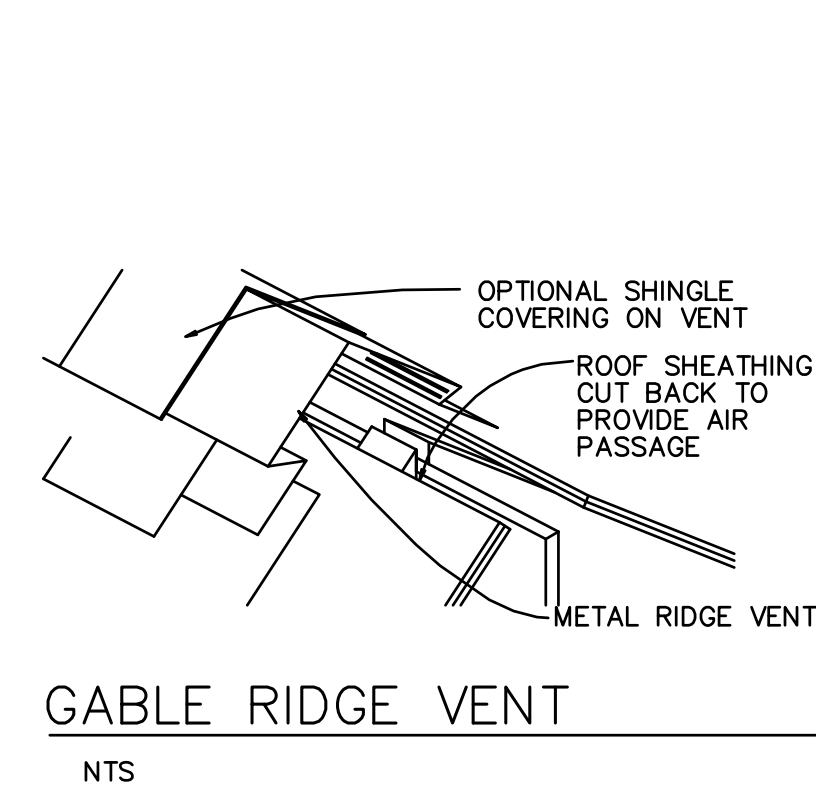
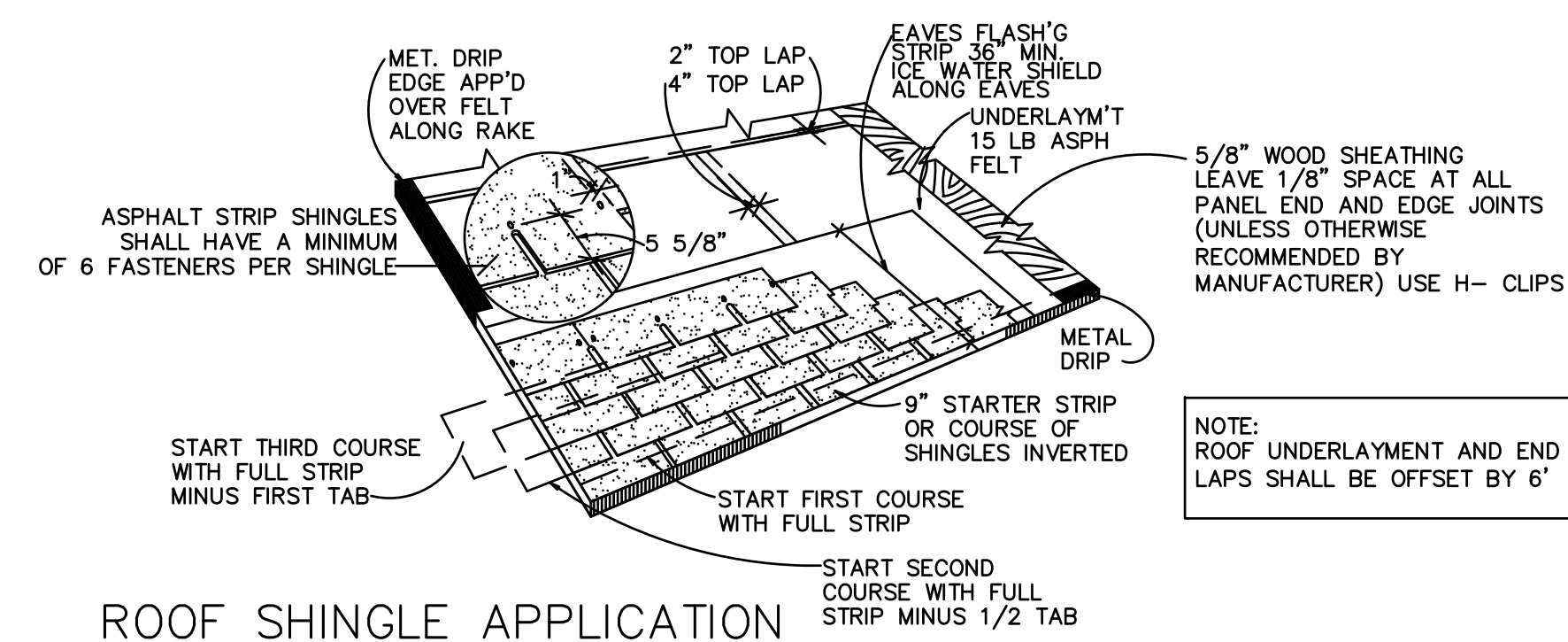
REAR ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY

PROPOSED 2-FAMILY
75 GLADSTONE STREET
CRANSTON, RI

PREPARED FOR :
JOSH DEBROSSARD &
JENNY C CLEMENT
75 GLADSTONE STREET
CRANSTON, RI

DATE: MAY 2026
SCALE: AS SHOWN
DRAWN BY: RM
CHECKED BY: MH
JOB NO.
SHEET NO.



REVISIONS		
NO.	DATE	BY

PROPOSED 2-FAMILY
75 GLADSTONE STREET
CRANSTON, RI

SHEET DESCRIPTION

PREPARED FOR :
JOSH DEBOSSARD &
JENNY C CLEMENT
775 GLADSTONE STREET
CRANSTON, RI

DATE: MAY 2026
SCALE: AS SHOWN
DWN.BY: RM
CKD.BY: MH
JOB NO.
SHEET NO.

JOIST TO SILL OR GIRDER, TOE NAIL (3) 8D
RIM JOIST TO JOIST (3) 16D
3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL @ 6" FROM EDGE 12" O.C.

BOTTOM PLATE TO JOIST 16D @ 16" O.C.
STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
STUD TO TOP PLATE (2) 16D OR (3) 8D
DOUBLE TOP PLATE (2) 10D @ 24" O.C.
DOUBLE STUDS (2) 16D OR (3) 8D @ 16" O.C.
1/2" WALL SHEATHING TO FRAMING 6D NAIL @ 6" FROM EDGE 12" O.C.

CEILING JOIST TO PLATE, TOE NAIL (3) 8D
CEILING JOIST LAP OVER PARTITION FACE (3) 10D
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (7) 16D
RAFTER TO PLATE, TOE NAIL (2) 16D
5/8" ROOF SHEATHING TO FRAMING 6D NAIL @ 6" FROM EDGE 12" O.C.

R502.6 BEARING.

THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1-1/2 INCHES (38 MM) OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3 INCHES OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS. ALTERNATIVELY, THE ENDS OF JOIST SHALL BE SUPPORTED ON A 1-INCH BY 4-INCH RISER STRIP WHICH SHALL BE NAIL TO THE ADJACENT STUD. THE BEARING ON MASONRY OR CONCRETE SHALL BE DIRECTLY ON THE SILL PLATE OF 2-INCH-MINIMUM NOMINAL THICKNESS SHALL BE PROVIDED UNDER THE JOIST, BEAM OR GIRDER. THE SILL PLATE SHALL PROVIDE A MINIMUM NOMINAL BEARING AREA OF 48 SQUARE INCHES.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP NOT LESS THAN 3 INCHES AND SHALL BE NAILED TOGETHER WITH A MINIMUM THREE 10D FACE NAILS. A WOOD OR METAL SPLICE WITH STRENGTH EQUAL TO OR GREATER THAN THAT PROVIDED BY THE NAILED LAP IS PERMITTED.

JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2 INCHES BY 2 INCHES.

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET

1. CHEMICAL TERMITICIDE TREATMENT IN ACCORDANCE WITH SECTION R318.2.
2. TERMITE-BAITING SYSTEM INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LABEL.
3. PRESSURE-PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH THE PROVISIONS OF SECTION R317.1.
4. NATURALLY DURABLE TERMITE-RESISTANT WOOD.
5. PHYSICAL BARRIERS IN ACCORDANCE WITH SECTION R318.3 AND USED IN LOCATIONS AS SPECIFIED IN SECTION R317.1.

FLASHINGS SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE PO ULTIMATE STRENGTH OF 3000PSI @ 28 DAYS. PROVIDE TOTAL AIR ENTRAINED OF 6%(±) FOR ALL CONCRETE EXPOSED TO WEATHER. MAXIMUM WATER/CEMENT RATIO W/C=.45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).

3. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE-60. LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-83 FOR TENSION LAP SPLICES, CLASS C, UNLESS NOTED OTHERWISE.

5. SLAB ON GRADE SHALL BE CAST IN ALTERNATE PATTERNS OR SAW CUT INTO ARE AS NOT TO EXCEED 900 S.F. OR AS INDICATED ON THE PLANS.

7. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLABS, COMPACT FROM STRIP LINE TO UNDERSIDE OF SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS, EXCEPT FOR TWO 6" LAYERS DIRECTLY OVER PIPES.

8. STRUCTURAL LUMBER SHALL BE DOUGLAS-FIR#2 (OR AS NOTED ON THE PLANS) OR CONSTRUCTION GRADE AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.

10. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.

12. CONTRACTOR WILL NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.

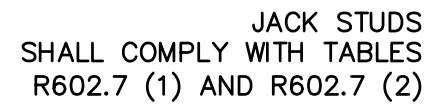
14. NOTIFY DESIGNER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN OR IMPLIED ON THE DRAWINGS.

16. THE CONTRACTOR SHALL IDENTIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.

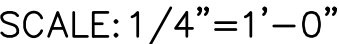
18. TUBULAR STEEL (IF APPLICABLE) SHALL CONFORM TO ASTM A-500 GRADE B
($F_y=46\text{ksi}$)

20. HEATING FACILITIES SHALL BE PROVIDED CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF NOT LESS THAN 68°F (20°C) AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN HABITABLE ROOMS AT THE DESIGN TEMPERATURE.

22. ALL CONCRETE FOUNDATIONS MUST BE ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF NOT LESS THAN 1,500 P.S.F.



NOT TO SCALE

4 OF 4











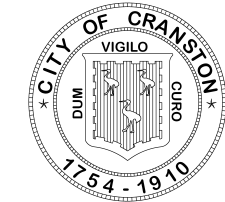
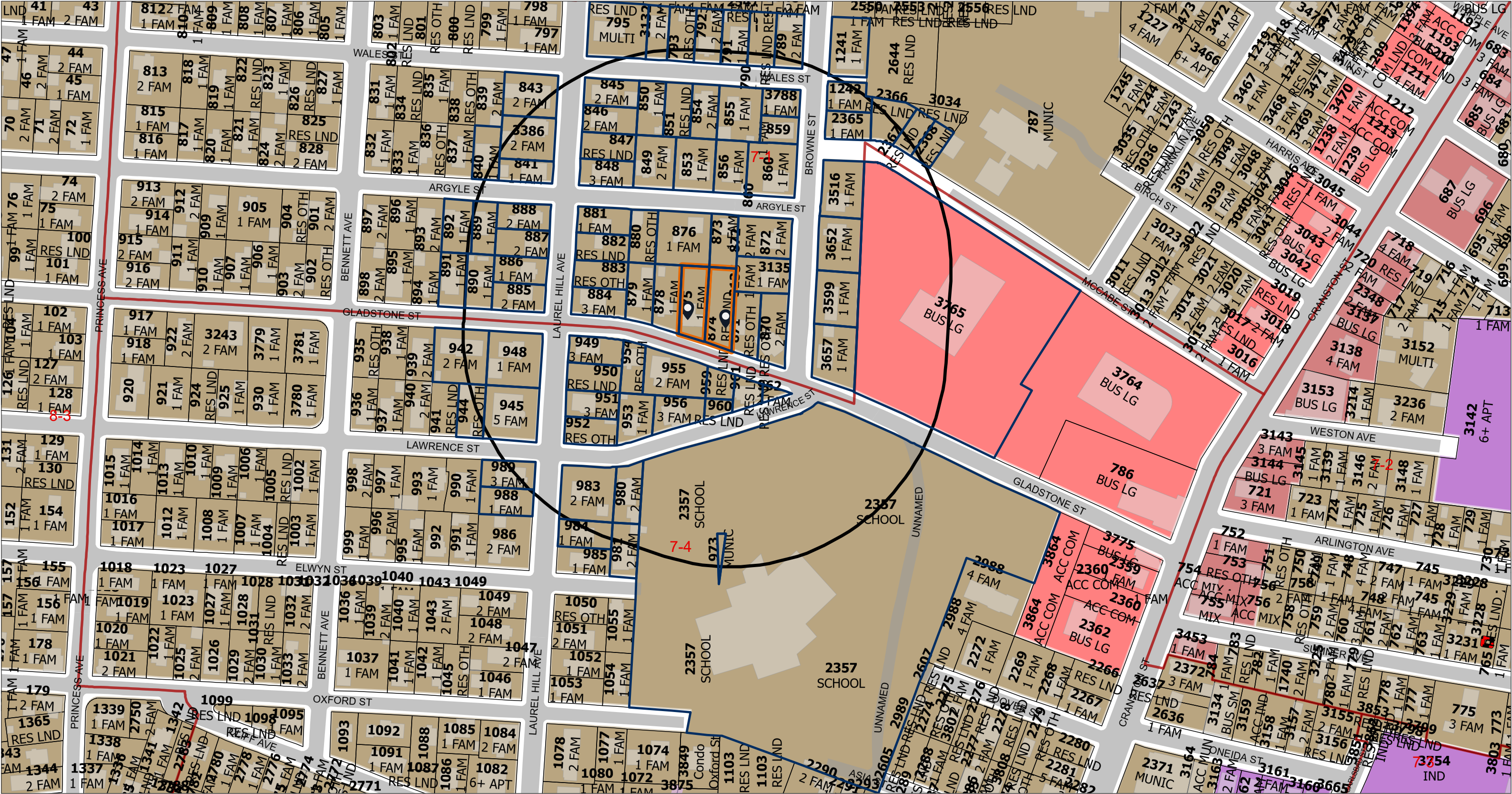








75 Gladstone St 400' Radius Plat 7 Lots 875, 874



<https://geohub-cranston.hub.arcgis.com/>

- ParcelsInBuffer

SelectedParcelsBuffer

SelectedParcels

Labels_Radius Maps_Lot and LU v2

Streets Names

Hydro Poly 2001

Stream/Water Body

Swamp

Buildings

Cranston Boundary

Plat Bounds

Easements partial

Parcels

Cemeteries

Cranston Boundary

Roads

Historic Overlay District

Zoning

none

A80

A20

A12

A8

A6

B1

B2

C1

C2

C3

C4

C5

M1

M2

EI

MPD

S1

Other
- Map Scale: 1:2,735
-
- Map created by Web Application on 8/11/2026 8:26 AM

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